

Type Summary

Type

Three bedroom detached residential dwelling

Lot Dimensions

Depth - 50m

Width - 10m to 16m

Lot Orientation

East West

Lot Topography

Site falls from south east to north west

Front Setback

5m

Boundary Condition

450mm setback to southern boundary

2.0m, 3.0m and 7.5m setbacks to northern boundary

Vehicular Access

From Mitchell Street

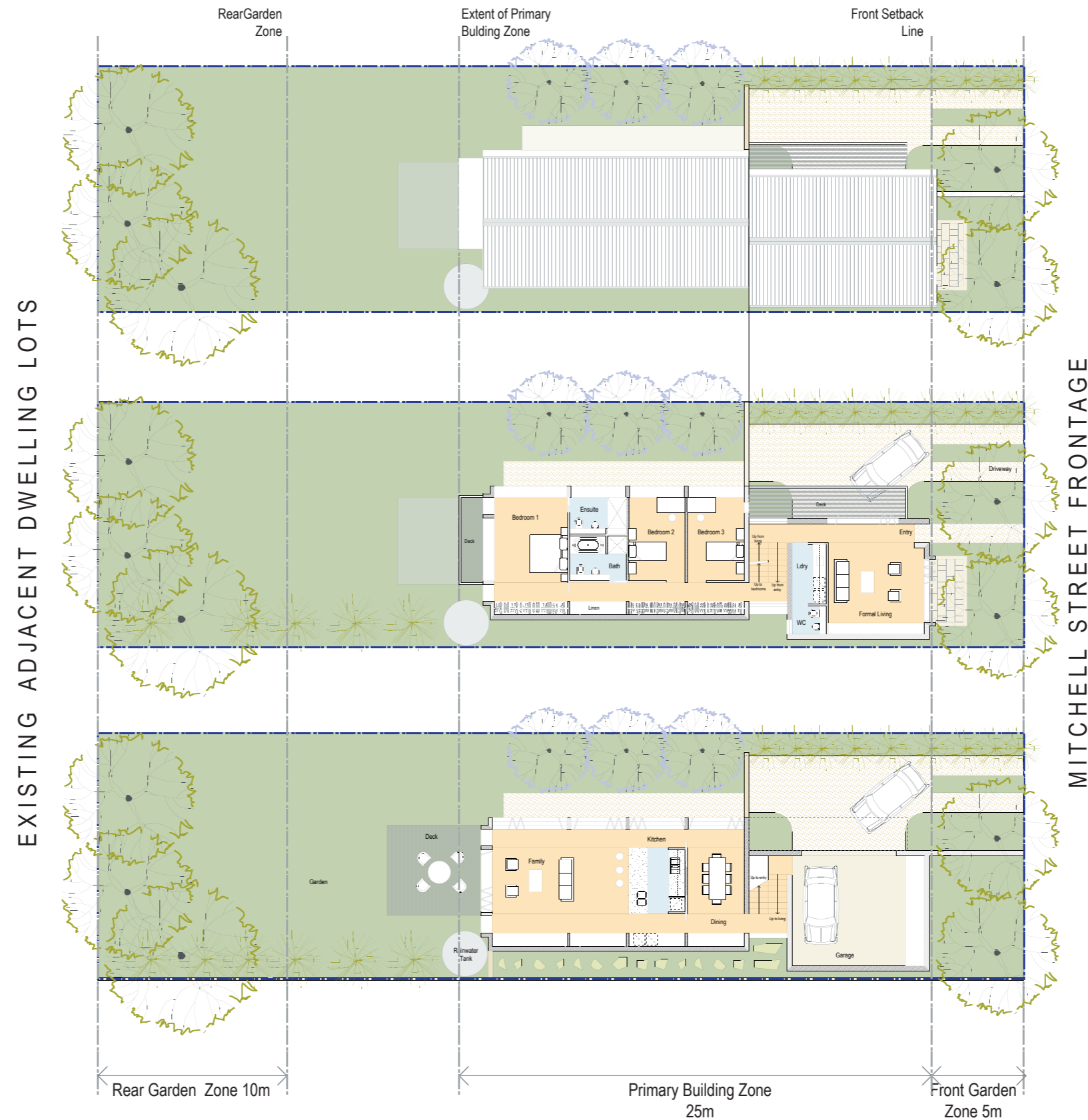
Parking

Double Garage perpendicular to the Mitchell Street frontage. Additional unenclosed spaces in driveway area.



North South Cross Section

Prepared by **Hill Thalís** Architecture + Urban Projects Pty Ltd
for the Noble Family and Kiama Municipal Council - September, 2003



Floor Plans

Gerringong Headland Master Plan - Option 1

7.2 Mitchell Street Dwellings

Mitchell Street lots have an east west orientation and often have a cross fall to the north west. Lots in the northern part of the site are generally more level.

Mitchell Street dwellings should be sited close to their southern boundary and provide generous setbacks to their northern boundary. Mitchell Street dwellings should be designed to provide a well defined and architecturally consistent edge to the Headland Foreshore Reserve.

Design Principles

Topography

Dwelling incorporates split levels to relate to the site topography and minimise building height.

Building Mass

Building mass is articulated as staggered rectangular elements that are distributed to relate to the falls in the site. The dwelling is sited close to its southern boundary, to preserve its own solar access from its more generous northern setbacks.

Landscape

The dwelling is sited to provide side, rear and front gardens, providing a variety of outdoor spaces, and ensuring adequate solar access to the dwelling.

Living Areas

All Living areas have northern orientation and open onto private decks and garden areas. Living spaces are sited to maximise views to the foreshore reserve and north along Warri Beach where possible.

Bedrooms

All bedrooms have northern orientation, and share views to the Foreshore Reserve, Werri Beach and west to Gerringong and Mount Saddleback.

Service Rooms

All service areas are located on the southern side of the building where possible. All service rooms include windows that provide natural ventilation.

Car Parking

Parking for two cars is provided off the Mitchell Street frontage. Double garage doors are placed perpendicular to the street frontage to minimise their presence from Mitchell Street. The area in front of the garage provides an additional car parking or boat storage space that is set back from the predominant building line.